

Cumberland City Council is undertaking early consultation on land use planning for the Woodville Road corridor, and we encourage you to have your say.

We are proposing a planning framework that provides a new approach to guide development along the Woodville Road corridor. It proposes to focus growth at three precincts along the corridor that can take advantage of existing and planned infrastructure and facilities.

Where no changes are proposed, the existing planning controls will continue to apply in these areas.

The framework will also inform the preparation of detailed planning controls for the corridor in the future, including a Planning Proposal and Development Control Plan.



Proposed development at Merrylands East local centre  
(Source: Marchese Partners International)



**Have your say on the proposed  
planning framework for the  
Woodville Road Corridor:**

[haveyoursay.cumberland.nsw.gov.au](http://haveyoursay.cumberland.nsw.gov.au)

**We are receiving submissions on the  
proposed planning framework from  
18 November to 18 December 2020.**

### **Why does Woodville Road need new planning controls?**

The Woodville Road corridor requires planning controls that reflect the needs of our current and future community. The proposed planning framework is a first step in outlining the vision for the Woodville Road corridor that reflects the strategic approach outlined in *Cumberland 2030: Our Local Strategic Planning Statement*.

### **What is a planning framework?**

A planning framework is a high level document that outlines the principles and priorities in guiding development at this location. The framework will inform the preparation of detailed planning controls for the Woodville Road corridor.

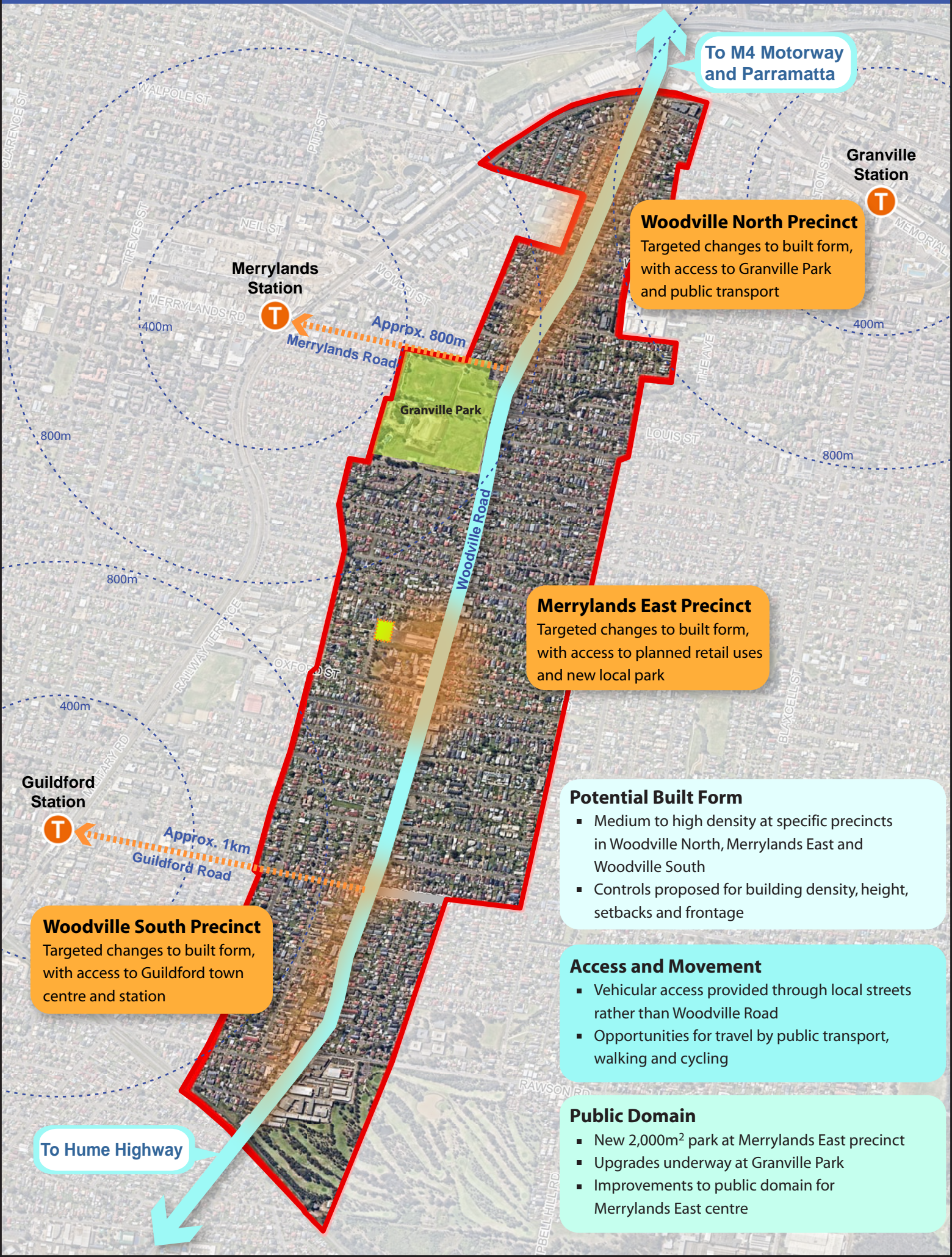
### **What happens after early consultation of the proposed planning framework for the Woodville Road corridor?**

Following early consultation, Council will review the submissions received on the proposed planning framework. This will be used to inform the preparation of a Local Environmental Plan amendment (planning proposal) and Development Control Plan for the corridor. The recommended framework and supporting planning controls will be presented for Council endorsement in 2021. Once endorsed, this will proceed to Gateway Determination by the NSW Government and further public consultation.



Artist impression of Sports Pavilion at Granville Park  
(Source: DWP Australia)





To M4 Motorway  
and Parramatta

**Woodville North Precinct**  
Targeted changes to built form,  
with access to Granville Park  
and public transport

**Merrylands East Precinct**  
Targeted changes to built form,  
with access to planned retail uses  
and new local park

**Potential Built Form**

- Medium to high density at specific precincts in Woodville North, Merrylands East and Woodville South
- Controls proposed for building density, height, setbacks and frontage

**Access and Movement**

- Vehicular access provided through local streets rather than Woodville Road
- Opportunities for travel by public transport, walking and cycling

**Public Domain**

- New 2,000m<sup>2</sup> park at Merrylands East precinct
- Upgrades underway at Granville Park
- Improvements to public domain for Merrylands East centre

**Woodville South Precinct**  
Targeted changes to built form,  
with access to Guildford town  
centre and station

To Hume Highway