



**55-57 Station Street and 6 Pritchard Street
East, Wentworthville (WW)**

**Draft Site Specific Development Controls
and
minor figure amendments**

to

Holroyd Development Control Plan 2013

To be read in conjunction with other parts of Holroyd DCP 2013

Note: All new proposed DCP provisions added new are shown in **blue text and existing DCP provisions are shown in **orange text**.**

Component 1: Newly added draft DCP provisions to Existing Part J – Site Specific Controls of Holroyd DCP 2013

Note - The site-specific provisions listed below and on the following pages are new site specific draft DCP provisions applicable to this Site which need to be introduced and added as a new section to Part J- Site specific controls after existing section 13.0 '108 Station Street, Wentworthville'.

14.1 Purpose of this DCP

The purpose of this DCP is to outline the 'site specific controls' that relate to the 'Pritchard Street and Station Street Precinct' which is located within the Wentworthville Centre to guide the future redevelopment of the site.

Where there is inconsistency between this document and provisions contained elsewhere in the Holroyd DCP 2013, the site specific controls contained in this document shall apply to the extent of the inconsistency.

14.2 Preliminaries

Land to which this section applies

This section applies to proposed 'Pritchard Street and Station Street Precinct' that includes 55-57 Station Street and 6 Pritchard Street East, as shown in **Figure A**.

The site forms a key corner site within the Wentworthville Town Centre and adjoins the existing Friend Park to the south.



Figure A: Pritchard Street and Station Street Precinct

Sections A to D are further discussed in detail in section 14.6.

14.3 Relationship to Holroyd Development Control Plan 2013

The controls contained in this part are supplementary to and shall be read in conjunction with the following relevant parts of Holroyd DCP 2013.

Part A - General Controls

Part B - Residential Controls

Part C - Commercial, Shop Top Housing and Mixed Use Development Controls

Part E - Public Participation

Part F - Advertising and Signage Controls

Part G - Places of Public Worship Controls

Part H - Heritage and Conservation Controls

Part I - Child Care Centre Controls

Part L - Town Centre Controls (Revised section 3- Wentworthville Centre)

In addition to this Part, SEPP 65 and the NSW Apartment Design Guide (ADGs) must be taken into account when preparing a development application. Where there is an

inconsistency between this DCP Part and provisions contained elsewhere in Holroyd DCP 2013, the provisions of this Part shall prevail.

14.4 Objectives of the DCP

Objectives

- O1. To facilitate the redevelopment of the site to achieve a high quality mixed use development outcome that acts as an arrival marker for the town centre.
- O2. To ensure that the height, bulk and scale of the built form results in a slender tower form and is of a high level of urban design and architectural quality.
- O3. To improve the permeability of the centre for pedestrians, including the provision of an extension to Friend Park and a through-site link, connecting Friend Park with the Wentworthville Mall.
- O4. To ensure adequate direct solar access to Friend Park (both existing and the extension) for the amenity and enjoyment by users throughout the year.
- O5. To provide for casual surveillance and activation of the Park through provision of active frontages and compatible land uses.
- O6. To protect the amenity of the Park through provision of a landscaping that will provide privacy, reduce acoustic emissions and improve the interface and visual outcomes between the Site (buildings) and the Park.
- O7. To enhance local biodiversity through the planting of diverse native plant species.

The following site specific development controls should be read in conjunction with broader DCP objectives included under existing section 3 of Part L - Town Centre controls of Holroyd DCP 2013 where applicable.

14.5 Solar access

- C1. To maintain 3 hours of direct sunlight to a minimum 50% of Friend Park (existing and the extension) between 11.00am and 3.00pm on 21st June.

14.6 Building Envelope

A. Building Heights

- C1. As shown in **Figure B** the maximum height of the building is not to exceed:
 - i. 11 storeys plus plant and lift overruns.
 - ii. 5 storeys at the western extent along Pritchard Street East.
 - iii. 1 storey in the south western corner fronting the Friend Park extension.

Note: due to level changes across the site, the ground level includes double height spaces and a mezzanine level. This is defined as 1 storey.



LEGEND

 Subject Precinct

 Maximum height of building in storeys

Figure B: Plan – Maximum Building Height in Storeys

B. Building Setbacks

C2. Minimum setbacks and built-to lines must be provided as follows:

Ground Floor Setbacks as shown in **Figure C** include the following:

- i. 4m setback to Station Street;
- ii. 6m street setback to the western section of Pritchard Street East;
- iii. Zero metre – 1m setback for the eastern section of Pritchard Street East near the corner with Station Street;
- iv. 2m setback to Friend Park; and
- v. 0m setback to Friend Park extension.

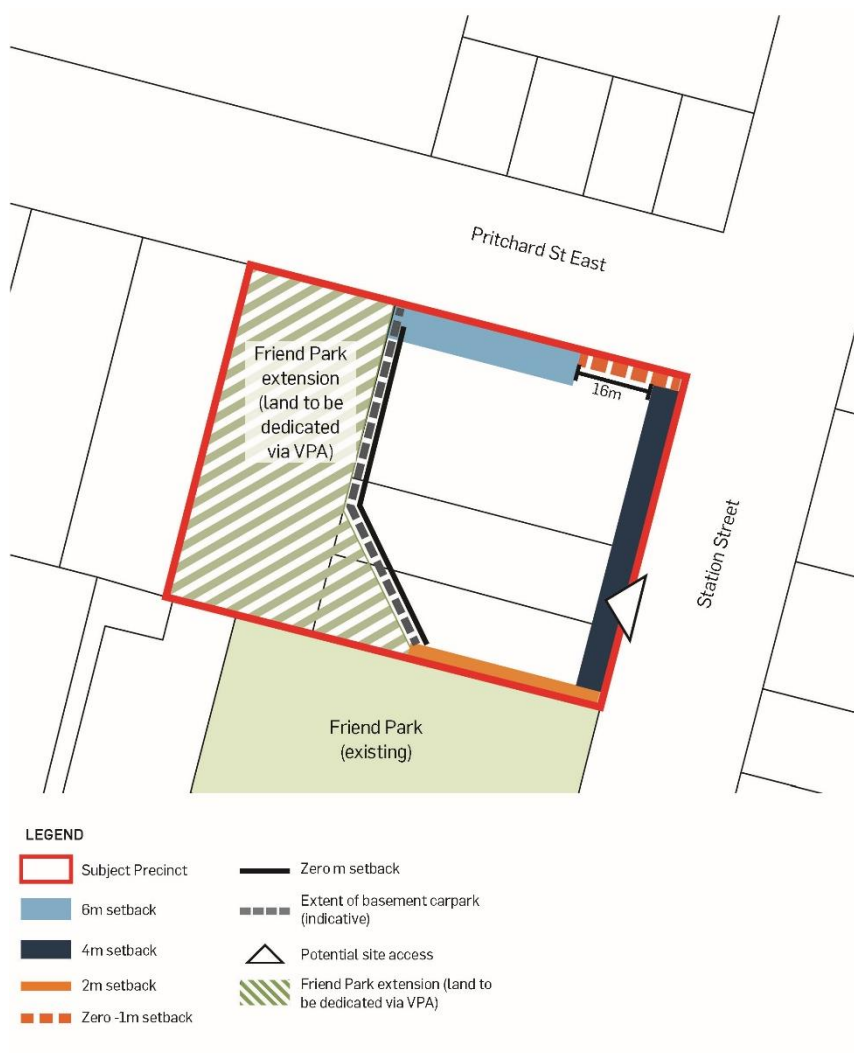


Figure C: Plan – Ground Floor Building Setbacks

C. Street wall and upper level setbacks

Street wall setbacks as shown in Figure D include the following:

- i. Minimum Zero metre setbacks to Station Street and Pritchard Street East.
- i. 2m setback to existing Friend Park.



Figure D: Plan – Street Wall Setbacks

Upper Level Setbacks

- ii. The building above the street wall is to maintain a minimum 3m setback from the 5th storey along Station Street and Pritchard Street East.
- iii. The building above the street wall is to maintain a minimum 2m setback to Friend Park (existing).
- iv. The building above the 5th storey street wall is to maintain a minimum 10m setback to the Friend Park extension.

The above setbacks are further illustrated by **Figures E to J**.

D. Built form and park interface

- C3. Use variation in appropriate materials and neutral/subdued colours for those building walls facing the Park.
- C4. Where possible incorporate exterior green walls into the building/s for those walls facing the Park.

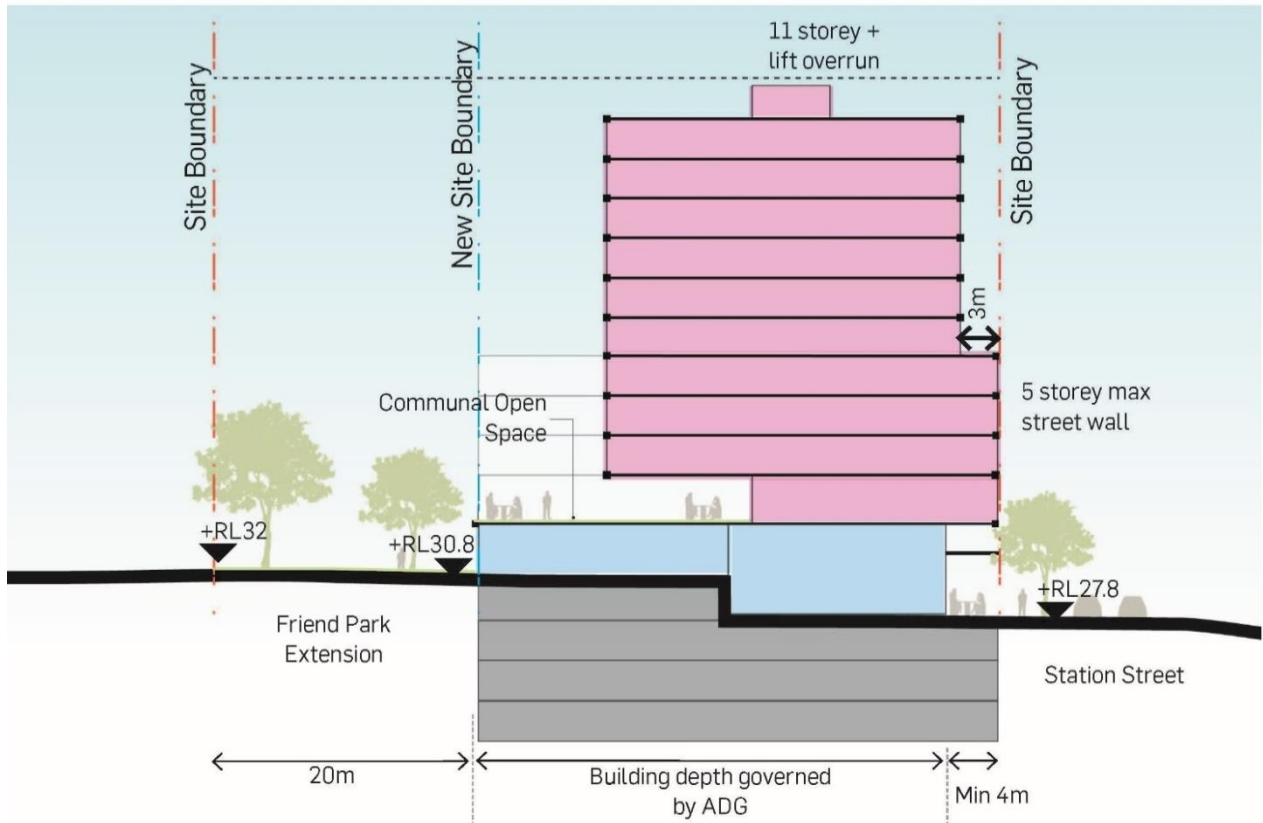


Figure E: Section A-A through Corner of Pritchard Street and Station Street Precinct – typical east-west podium

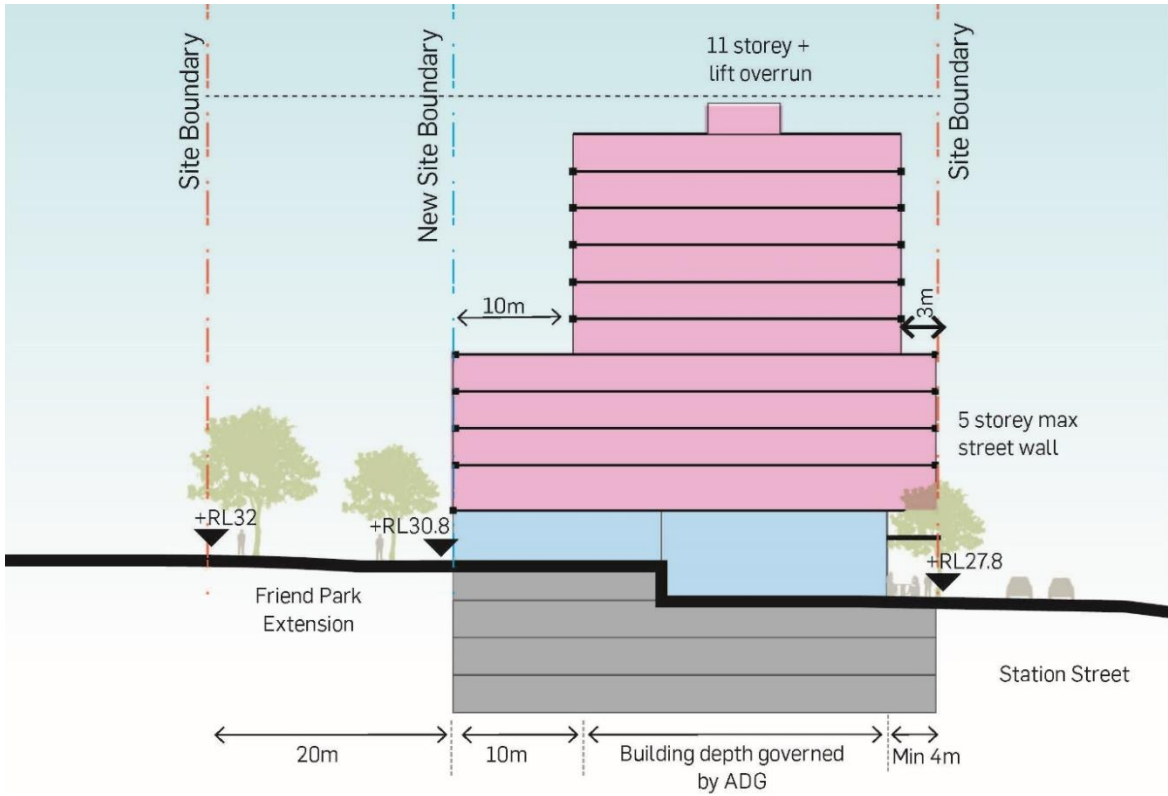


Figure F: Section B-B through Corner of Pritchard Street and Station Street Precinct – typical east–west tower section

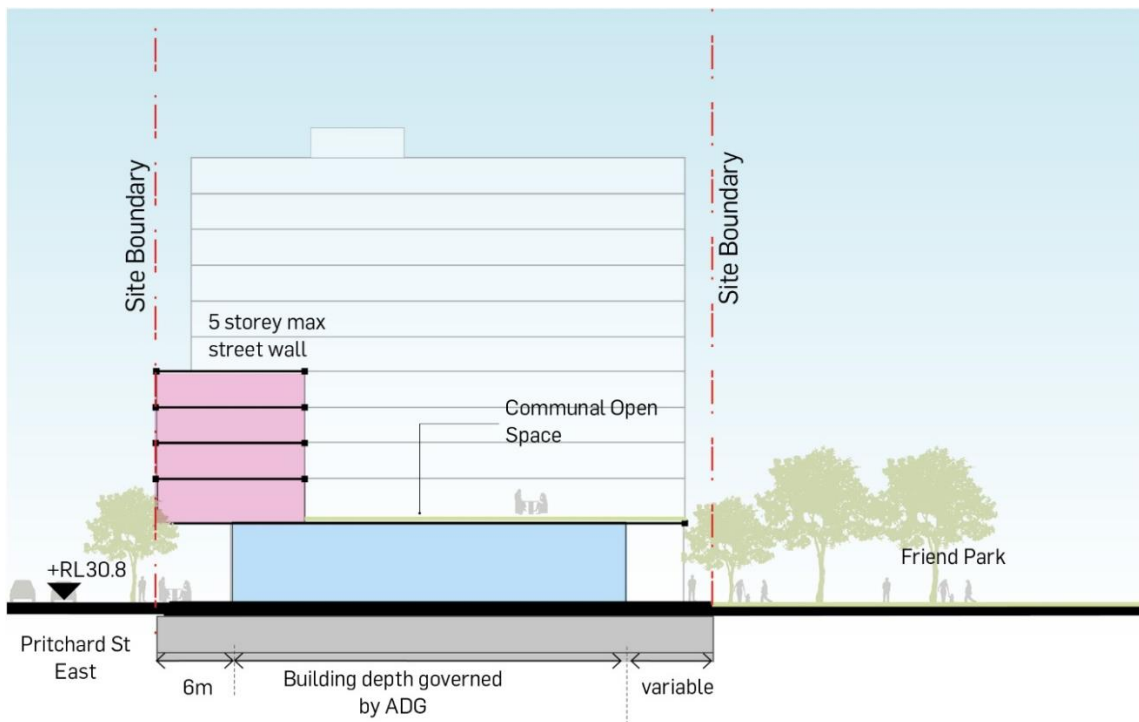


Figure G: Section C-C through Corner of Pritchard Street and Station Street Precinct – typical north–south podium section

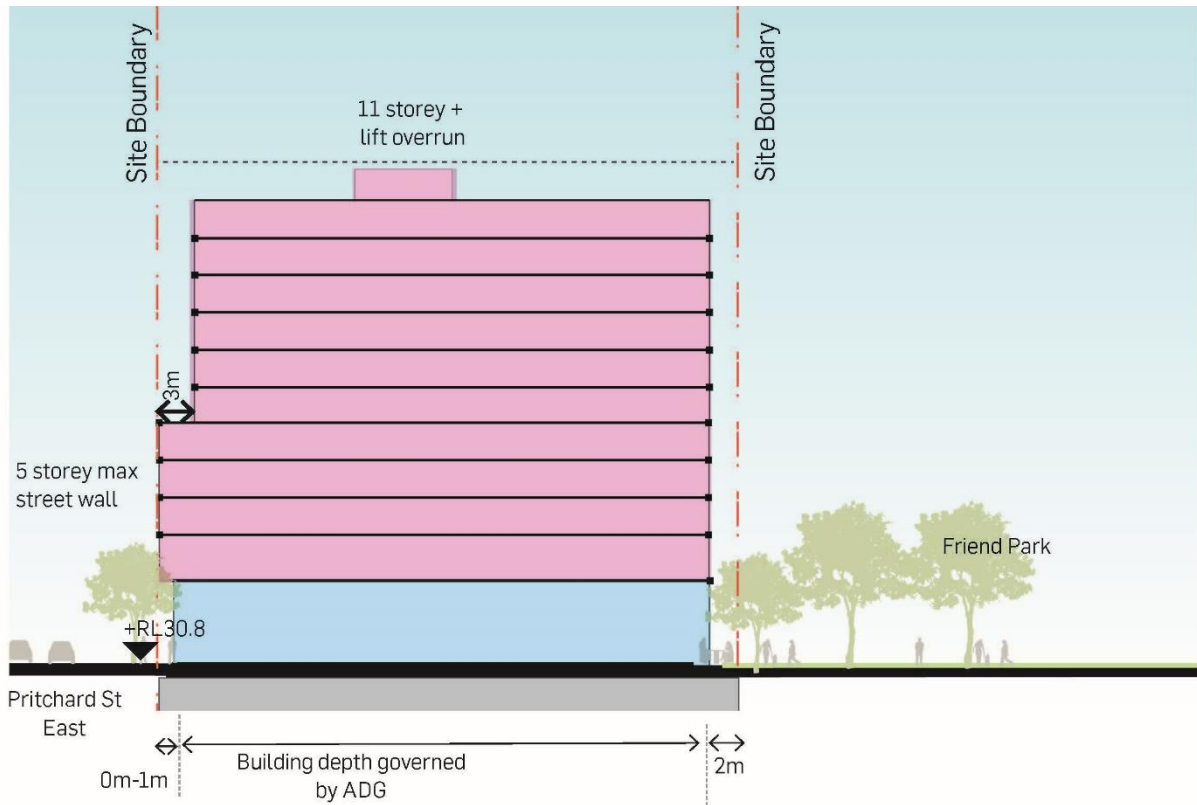


Figure H: Section D-D through Corner of Pritchard Street and Station Street Precinct – typical north-south tower section

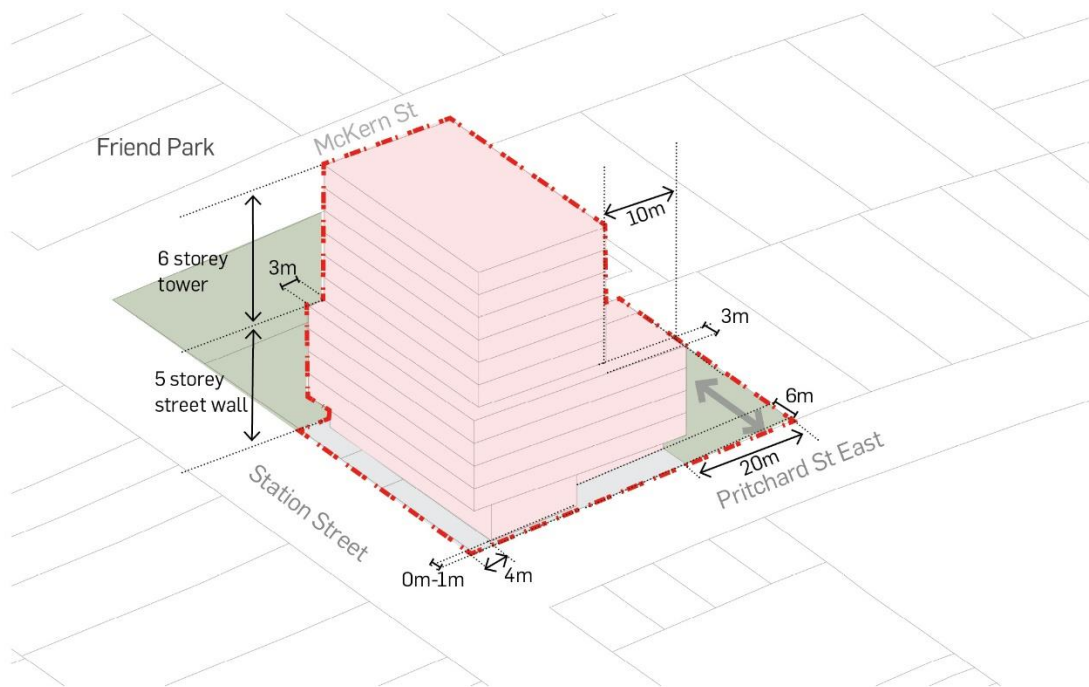


Figure I: Corner of Pritchard Street and Station Street Precinct – 3D Conceptual Diagram - north-south section

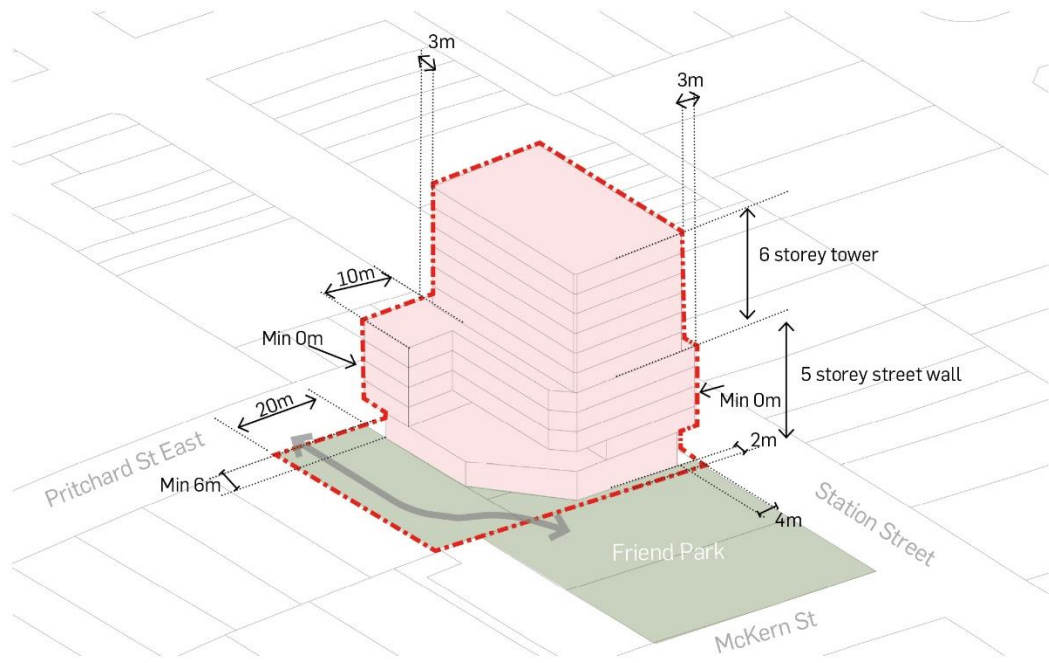


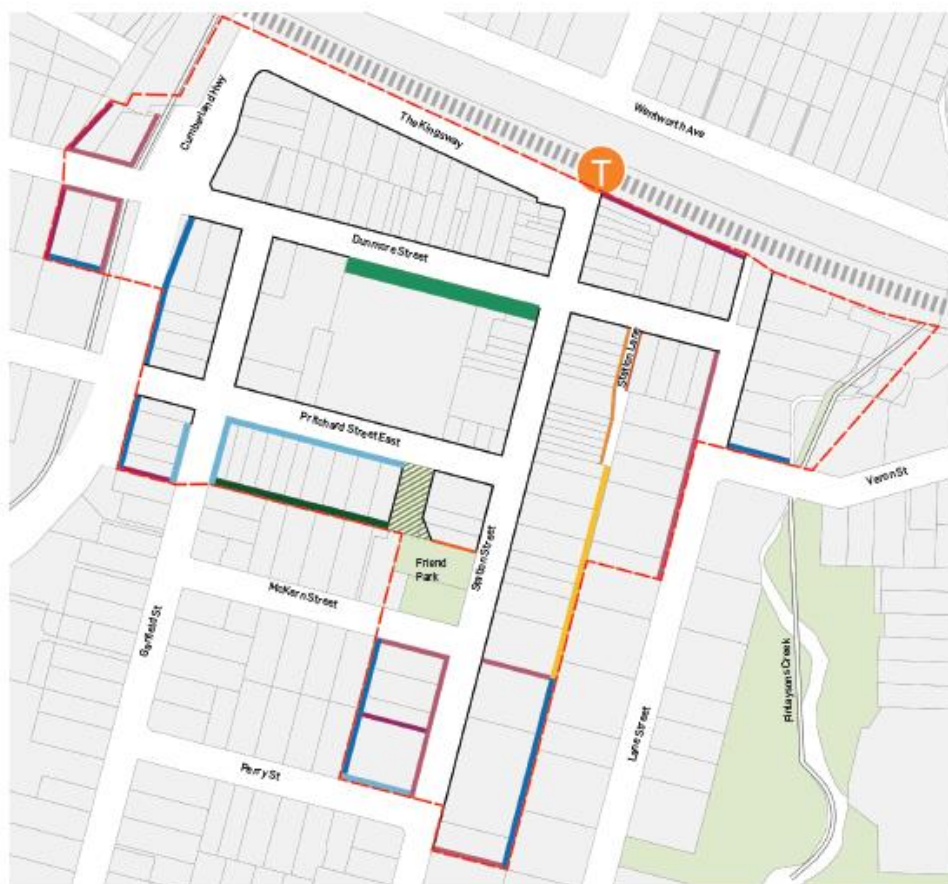
Figure J- Corner of Pritchard Street and Station Street Precinct – 3D Conceptual Diagram – east-west section

Component 2: Existing DCP provisions that would need to be updated (revised) in Section 3, Part L – Town Centre Controls of Holroyd DCP 2013 which will continue to be applied to this Site

Note - The DCP provisions listed on the following pages are existing provisions included at Section 3 of revised Part L – Town Centre Controls of the Holroyd DCP 2013 that would need to be updated and will continue to be applied to this Site.

Ref. existing section 3.10 Building Setbacks

Amend and replace existing **Figure 15 - Building Setbacks** with updated Figure below:

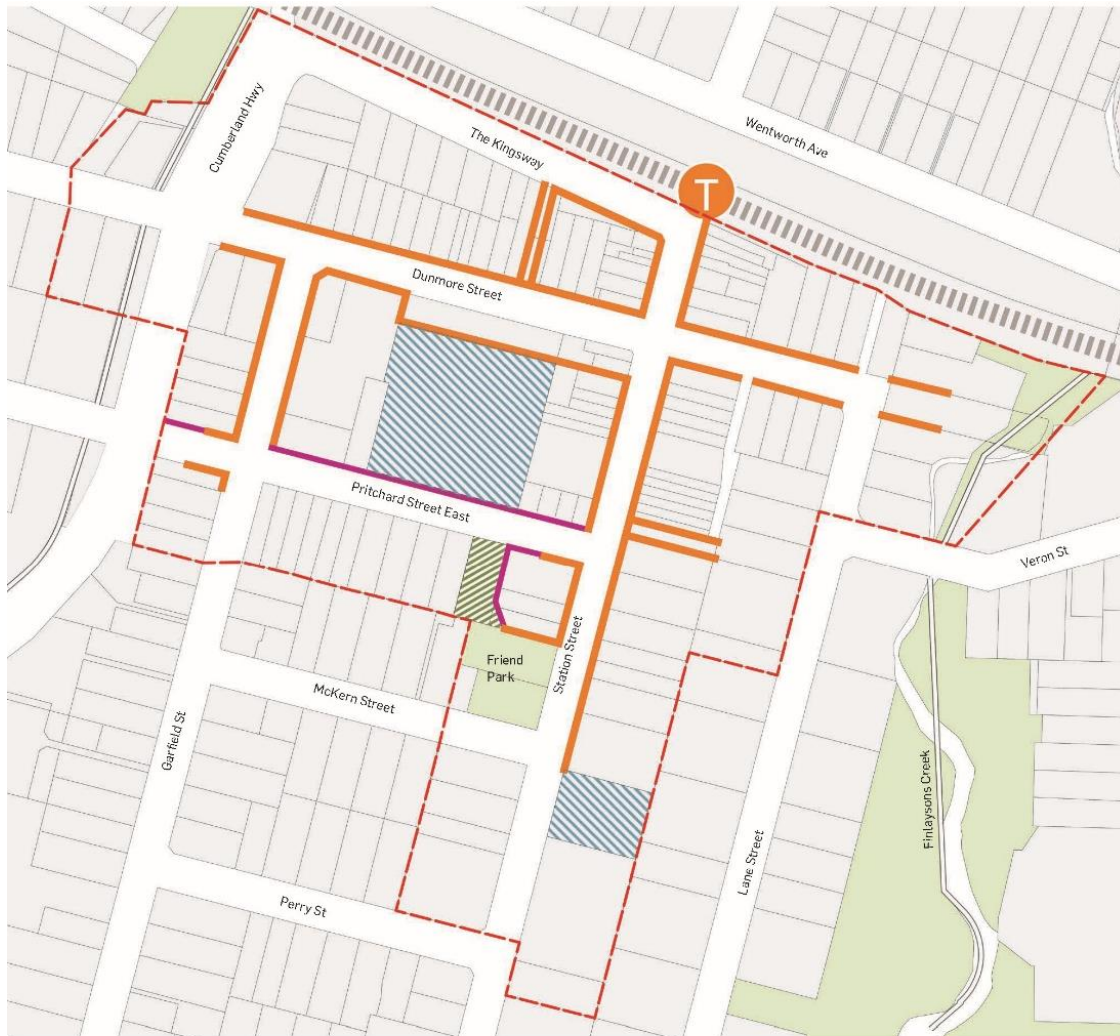


LEGEND

	Study area		8m	Street edge setback with Linear Plaza
	Publicly accessible space		8m	Rear landscape setback
	Train station		6m	Street edge setback
	Friend Park extension (Land to be dedicated via VPA)		6m	Rear/side landscape setback
			4m	Street edge setback
			3m	Street edge setback
			3m	Side setback
			2m	Rear setback plus new 8m laneway extension of Station Lane
			2m	Rear setback plus widening of existing Station Lane
			2m	Setback from Friend Park
			1.4m	Rear setback plus widening of existing Station Lane
			0m	Street setback plus widening of existing Station Lane
			0m	Street edge setback

Existing Ref. section 3.11 Primary and Secondary Active Frontages

Amend and replace existing **Figure 16 – Active Frontages** with updated Figure below and add new note to indicate that vehicle access for the subject precinct is proposed from a primary street.



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-  Primary Active Frontage
-  Secondary Active Frontage
-  Area excluded from Wentworthville Centre DCP Controls
-  Friend Park extension (land to be dedicated via VPA)

Note: Vehicle access is proposed off Station Street which is a Primary Active Frontage for 'Pritchard Street and Station Street Precinct' only.

Existing Ref. Section 3.18 – Special Precincts

Note- Add new 'Pritchard Street and Station Street Precinct' as Point D to existing paragraph text as shown below:

The following describes planning controls for selected key precincts within the Centre that require specific design outcomes. Typical sections and diagrams illustrate applicable controls such as street setbacks, split heights, street wall height, podium setback, laneways and through-site links for the following nominated locations: -

- a) Dunmore Street North Precinct comprising:
 - 63-71 Dunmore Street (Amalgamated Site 3 – refer Table 1)
 - 41-51 Dunmore Street and 15 and 22 The Kingsway (Amalgamated Site 5 – refer Table 1)
 - 1-19 Station Street and Lot E The Kingsway (Amalgamated Site 7 – refer Table 1)
- b) Station Street and Lane Street Precinct
- c) Pritchard Street East Precinct
- d) Pritchard Street and Station Street Precinct (Refer to Part J for Site Specific Controls).

Existing Ref. Section 3.24 - Pedestrian Connectivity and Amenity

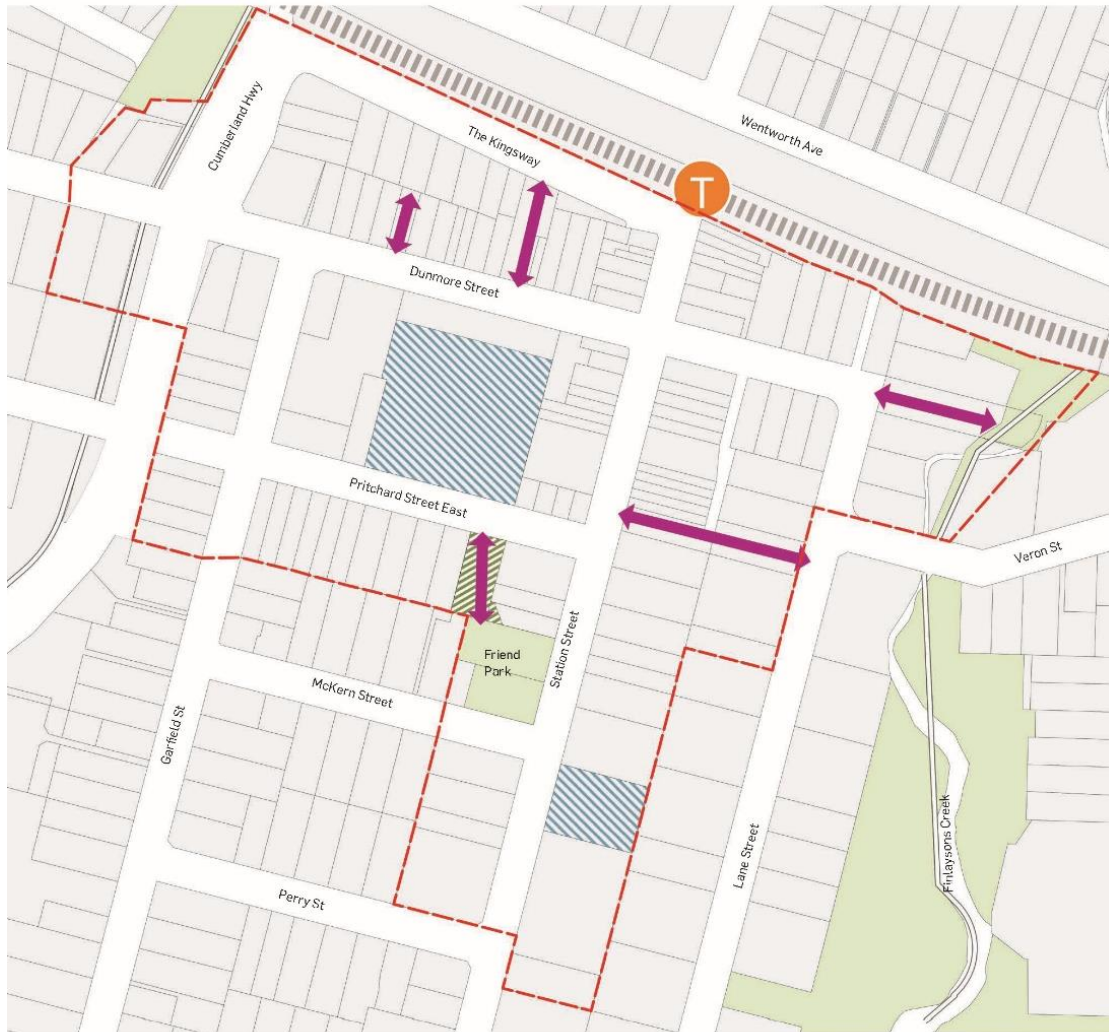
Note-Amend existing C5 control to revise title, include the 6 metre maximum width for the through-site pedestrian link as shown below and replace existing Figure 26 with updated Figure overleaf.

Existing Development Controls

C5. Pritchard Street & Station Street Precinct – Friend Park (6 Pritchard Street)

Future redevelopment of the Station Street & Pritchard Street East Precinct is to include a new through site pedestrian link connecting Friend Park through to Pritchard Street East to facilitate direct access between the park and the main shopping centre. The pedestrian link is to be a minimum 3.5 metres in width and must not exceed 6.0 metres in width.

Amend and replace existing **Figure 26- Pedestrian Connectivity and Amenity** with updated Figure below:



LEGEND

-  Through site links
-  Area excluded from Wentworthville Centre DCP Controls

Component 3: DCP provisions listed below amends existing provisions within Section 3, Part L – Town Centre Controls that applied currently but will no longer apply to this Site

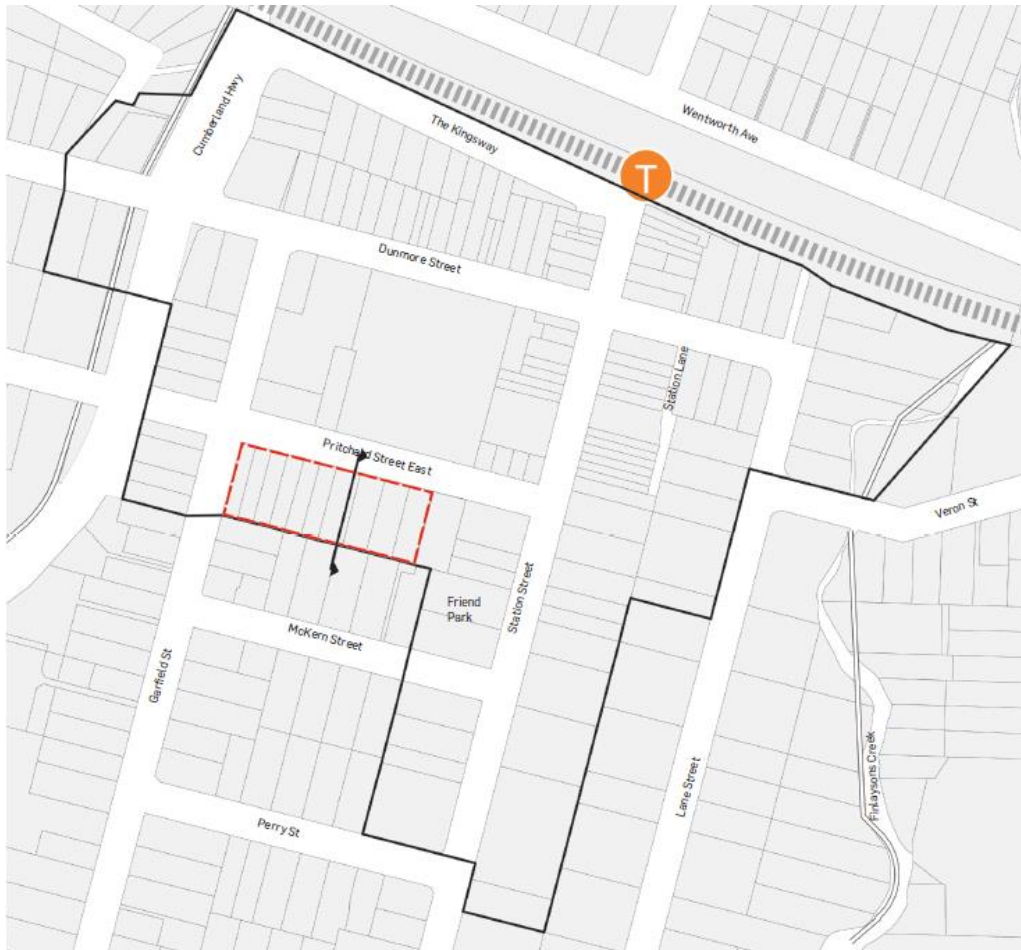
Note – the provisions listed below are amendments to existing provisions as given at 3.21 Pritchard Street East Precinct that currently apply but will no longer apply to this Site.

Remove 6 Pritchard Street East from existing paragraph text below:


Existing ref. section 3.21 Pritchard Street East Precinct

The Pritchard Street East Precinct comprises 8-18 Pritchard Street, adjoining a low density residential area to the south which necessitates a sensitive transition in building height and scale. As shown in Figure 24 building heights range from 17 - 23m (4 – 6 storeys) with a 6m front setback and an 8m landscaped rear setback. The split height controls are reflected in the applicable LEP Height of Buildings Map for the Centre.

Amend and replace existing **Figure 24 – Pritchard Street East – Typical North South Section** with updated Figure below to remove the subject site from the existing precinct:



LEGEND

 Precinct Boundary