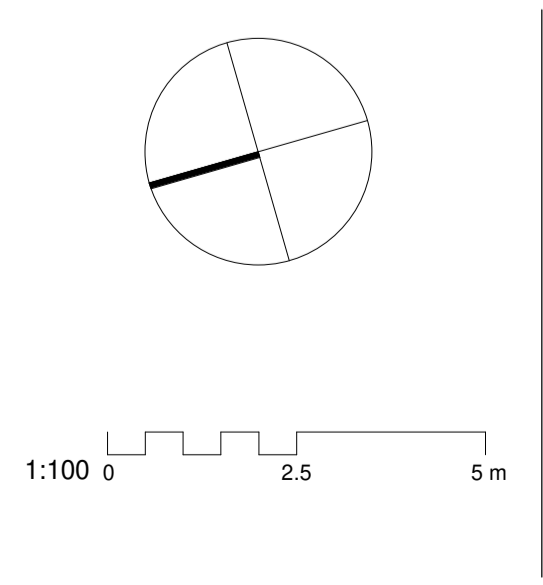


**Notes**  
 The information contained in this document is copyright and may not be used or reproduced for any other project or purpose.  
 Verify all dimensions and levels on site and report any discrepancies to dwp for direction prior to the commencement of work.  
 Drawings are to be read in conjunction with all other contract documents.  
 Use figured dimensions only. Do not scale from drawings.  
 dwp cannot guarantee the accuracy of content and format for copies of drawings issued electronically. The completion of the Issue Details Checked and Authorised section is confirmation of the status of the drawing. The drawing shall not be used for construction unless endorsed 'For Construction' and authorised for issue.

- GENERAL NOTES**
- EXISTING TREES
  - PROPOSED TREE
  - PROPOSED CARPARK
  - PROPOSED BUILDING
  - LIGHT POLE
  - FLOOR WASTE
  - RAINWATER OUTLET
  - BOUNDARY TRAP FLOOR WASTE
  - BOUNDARY

- GENERAL NOTES**
1. ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.
  2. THE ARCHITECTURAL LAYOUTS HAVE BEEN BASED ON THE SITE SURVEY, PREPARED BY TOTAL KEATLEY SURVEYORS.
  3. CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF FIXTURE / FITTING AND SHALL NOTIFY OF ANY CONDITION REQUIRING MODIFICATION OR CHANGE TO ARCHITECT.
  4. ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. REFER TO RELEVANT ARCHITECTURAL DRAWINGS FOR SETOUT DIMENSIONS.
  5. ALL DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
  6. THE BUILDER SHALL PROVIDE BLOCKING, BACKING, TRIMMING AND ALL OTHER SUPPORTS/FIXTURES NOT FURNISHED BY THE CONTRACTOR.
  7. ANY DISCREPANCIES ARE TO BE NOTIFIED TO ARCHITECTS PRIOR TO THE COMMENCEMENT OF ANY WORKS ON SITE.
  8. ALL GPO'S SHALL BE 300mm ABOVE THE F.F.L UNLESS NOTED OTHERWISE. FINAL GPO OUTLETS TO BE CONFIRMED WITH ARCHITECTS PRIOR TO INSTALLATION.
  9. FLOOR TILING TO BE CARRIED OUT IN ACCORDANCE WITH AS 2388 AND BS 5385, PARTS 1 TO 5, TILE CONTROL JOINT LOCATIONS AND SETOUT TO BE ESTABLISHED BY TILE SUB-CONTRACT INSTALLERS IN CONJUNCTION WITH ARCHITECT.
  10. TYPICALLY ALL CHANGE IN ROOM FLOOR FINISHES TO BE CENTRAL OF DOOR LEAF UNLESS NOTED OTHERWISE.
  11. SHOP DRAWINGS TO BE SUBMITTED TO ARCHITECT FOR APPROVAL/FINAL SETOUT TO BE APPROVED BY ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK ON SITE.
  12. FITOUT SUBCONTRACTOR TO SUPPLY SHOP DRAWINGS FOR ARCHITECT APPROVAL PRIOR TO COMMENCEMENT OF WORK ON SITE.
  13. ALL STATUTORY SIGNAGE TO BE ALLOWED FOR IN ACCORDANCE WITH ASSOCIATED STANDARDS.
  14. FOR FINISHES REFER TO A1601 AND A1602 & FINISHES SCHEDULE.
  15. ALL MECHANICAL PENETRATIONS AS PER MECHANICAL ENGINEER'S DETAILS.



**FOR TENDER**  
 NOT TO BE USED DURING CONSTRUCTION

Issue	Description	Date	Chk	Auth
1	FOR CLIENT REVIEW	23.07.19	TT	IS
2	FOR INFORMATION	25.07.19	TT	IS
3	FOR TENDER REVISED	09.03.20	DR	IS
4	CONSTRUCTION CERTIFICATE	14.05.20	CL	IS

Architect/ Designer  
**dwp**  
 www.dwp.com

Client  
**CUMBERLAND COUNCIL**

Location  
 188 WOODVILLE ROAD, MERRYLANDS  
 NSW 2160

Project  
**GRANVILLE PARK COMMUNITY SPORTS PAVILION**

Drawing  
**GENERAL ARRANGEMENT PLAN - GROUND FLOOR**

Scale (A1)  
 1 : 100

Date Printed  
 5/14/2020 12:05:37 PM

Project Number  
**18-0612**

Drawing Number  
**A1201**

Issue  
**4**