

Heritage Inventory Sheet

Recommended Name	Victorian Cottage		
Site Image			
Address	32 The Avenue, Granville NSW 2142		
Lot/Section/DP	1	-	798242
Heritage Study ID	HS46		
LEP ID	Not currently included on the Cumberland LEP		
Heritage Conservation Area	Included, Granville Conservation Area – Residential Precinct		
Date Updated	February		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The house at 32 The Avenue, Granville is of local significance for its historic, aesthetic and representative values. Built in c.1880s, historically, the cottage relates to the late nineteenth century residential development of Granville that occurred in conjunction with the relocation of large manufacturing industries to the area. The house was constructed during the early subdivision of the Drainwell Estate. The building retains its aesthetic significance through the retention of much of its original fabric and detailing. It has additional significance as part of the Granville Conservation Area – Residential Precinct as it makes a positive contribution to the overall streetscape character of the Conservation Area. This is enhanced by the similarities in age, design, use and materials with other houses along the street. The building demonstrates representative qualities of an intact Victorian cottage.

Criteria Assessment

a) Historic	Built in c.1880s, historically, the cottage relates to the late nineteenth century residential development of Granville that occurred in conjunction with the relocation of large manufacturing industries to the area. The house was constructed during the early subdivision of the Drainwell Estate.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The building retains its aesthetic significance through the retention of much of its original fabric and detailing. It has additional significance as part of the Granville Conservation Area – Residential Precinct as it makes a positive contribution to the overall streetscape character of

	the Conservation Area. This is enhanced by the similarities in age, design, use and materials with other houses along the street.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The building demonstrates representative qualities of an intact Victorian cottage.

Physical Description

The house at 32 The Avenue is a single-storey symmetrical late Victorian cottage clad in rusticated weatherboards at the front and shiplap weatherboards at the sides. The cottage is set atop brick piers with rendered infill brickwork. It has a hipped roof sheeted in corrugated iron and with a single rendered brick chimney with metal cowls. A verandah extends at the front which has a skillion roof sheeted in corrugated iron and featuring filigree lacework and timber posts set atop a timber shingled balustrade.

The cottage retains its original multi-paned double-hung sash windows at the front which flank a timber framed door with transom light. The front door is not visible behind a contemporary screen door. Along the side of the building are double-hung sash windows although some have security screens, and all windows have a flyscreen attached to the lower half of the frame.

The cottage has been extended several times to the rear and a contemporary verandah with gable roof extends from the rear and connects to a fibre cement garage. The rear extensions to the cottage appear to be early additions clad in weatherboard with corrugated iron roofing. To the north side of the building there is a modern driveway painted red.

The cottage has a neat garden which is retained by a brick base and bounded by a white metal loop top boundary fence. In front of the verandah is a low garden bed with brick edging. A central paved path leads to the front entrance. A large bottle brush planted c.1990s is located on the footpath in the public domain in front of the house and obscures the view of the cottage from the street.

The cottage has been well-maintained and is considered to be in a good condition.

Condition	Good	Fair	Poor
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Alterations and Additions

- Rear hipped and skillion extensions pre-1940s
- Contemporary rear verandah addition
- Garage addition – fibre cement
- Metal loop top boundary fence*
- New concrete driveway*
- Windows with white security screen and white timber framing*

Although the cottage retains its form and structure, there are some elements that detract from the overall integrity of the item. This includes repainted exterior walls of cottage, the concrete driveway which is painted red, the loop top boundary fence and any windows that have had their timber frames painted white or have white security screens. The item therefore is considered to have moderate integrity.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years c.1880s

Granville

Granville was originally part of the land grant known as Drainwell Estate, given in 1806 to Garnham Blaxcell. This grant consisted of 1,125 acres which was used as collateral for Blaxcell's commercial enterprises. The estate was then mortgaged to Sir John Jamison, who took it over when Blaxcell fled the colony in 1817. The land was largely undeveloped until the 1860s when it was subdivided. Many of the first buyers were orchardists and farmers, although there were also some men who built middle-class villas. In the 1880s, the area became known as 'Granville', in honour of the British Foreign Minister, Lord Granville and in 1885 the Municipality of Granville was declared.

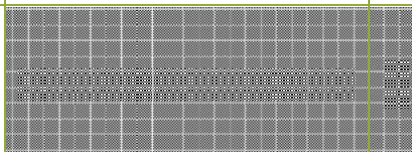
The formation of Granville was largely determined by development between the 1880s – 1930s which was driven by the relocation of several large manufacturing industries close to the railway, such as the Hudson Brothers locomotive engineering works at Clyde. For the 25 years that followed the establishment of the Clyde Engineering, Granville experienced a great period of development with the appearance of new small industries, housing, shops and businesses. New houses were built for the workers and substantial residences were built for the managers and factory owners. Today, the subdivision pattern of this era is still evident and there is still a predominance of buildings dating to the 1880s – 1930s.

32 The Avenue

The cottage at 32 The Avenue appears to have been constructed in the c.1880s and was one of the earliest house constructed along The Avenue which was then known as Railway Street. The Sands Directory shows David Rumble living at 32 The Avenue (known as Fairleigh) from 1884 until his death in 1914. The building remained occupied by the Rumble family for at least the next decade.

Presently, the house remains in use as a private residence.

Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Include this item as a new heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Include this item's listing as part of or as a Heritage Conservation Area.	X	7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider additional research to nominate this item for the State Heritage Register.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.	
4. The heritage curtilage for this item should be revised/reduced.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring	X		

		development (form, scale, bulk, setback and height).		
5. Not recommended for inclusion on the LEP.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- Should the opportunity arise, the front boundary fence should be replaced with a style which is more sympathetic towards the character of the HCA such as timber picket.
- Should the opportunity arise, the driveway should be repainted in a neutral colour as the current colour is detracting from the heritage value of the building.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	N/A	-
Cumberland Heritage Study	Federation Cottage	HS46
National Trust Australia Register	N/A	-

Other References

- Author unidentified 2008, *Granville*, retrieved 19 March 2019, <https://dictionaryofsydney.org/entry/granville>
- Fowlie, T & Granville Historical Society. 2001 *The History of Granville 1919*. Granville: Granville Historical Society.
- Watson, J. 1992. *Granville, from forest to factory*. Granville: Granville Historical Society.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on existing information in the Cumberland Heritage Study Stage 1 2019 prepared by Extent Heritage.

Additional Images



Cottage viewed from The Avenue.



Driveway.



Overview of cottage.



Detail of verandah.